

**LEGEND**

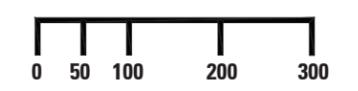
- (E) EXISTING BUILDING
- (##) BLOCK NUMBER
- P SURFACE PARKING
- \* POTENTIAL PARKING GARAGE
- PUBLIC PARKING
- OPEN SPACE - COLORS VARY
- COMMERCIAL (OFFICE/MANUFACTURING)
- RESIDENTIAL OVER GROUND FLOOR RETAIL & PARKING
- RESIDENTIAL OVER ADAPTABLE GROUND FLOOR & PARKING
- RESIDENTIAL TOWNHOME
- RETAIL (SHOPS & RESTAURANTS)

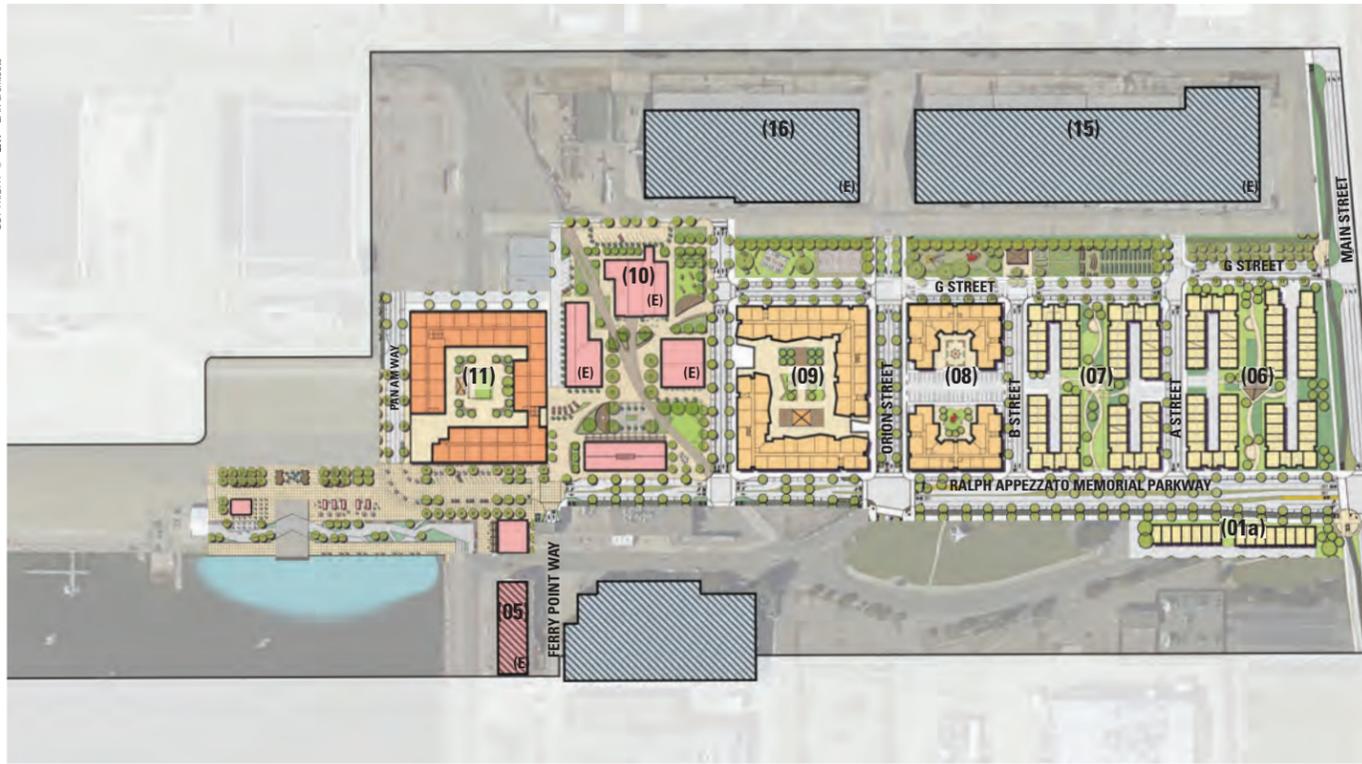
\*THIS SITE PLAN & BUILDING CONFIGURATIONS ARE ILLUSTRATIVE ONLY. ALL IMPROVEMENTS SUBJECT TO DESIGN REVIEW APPROVAL.

\*EXISTING BUILDINGS AND/OR SITES MAY BE OCCUPIED WITH USES CONSISTENT WITH THIS PLAN DURING ANY PHASE

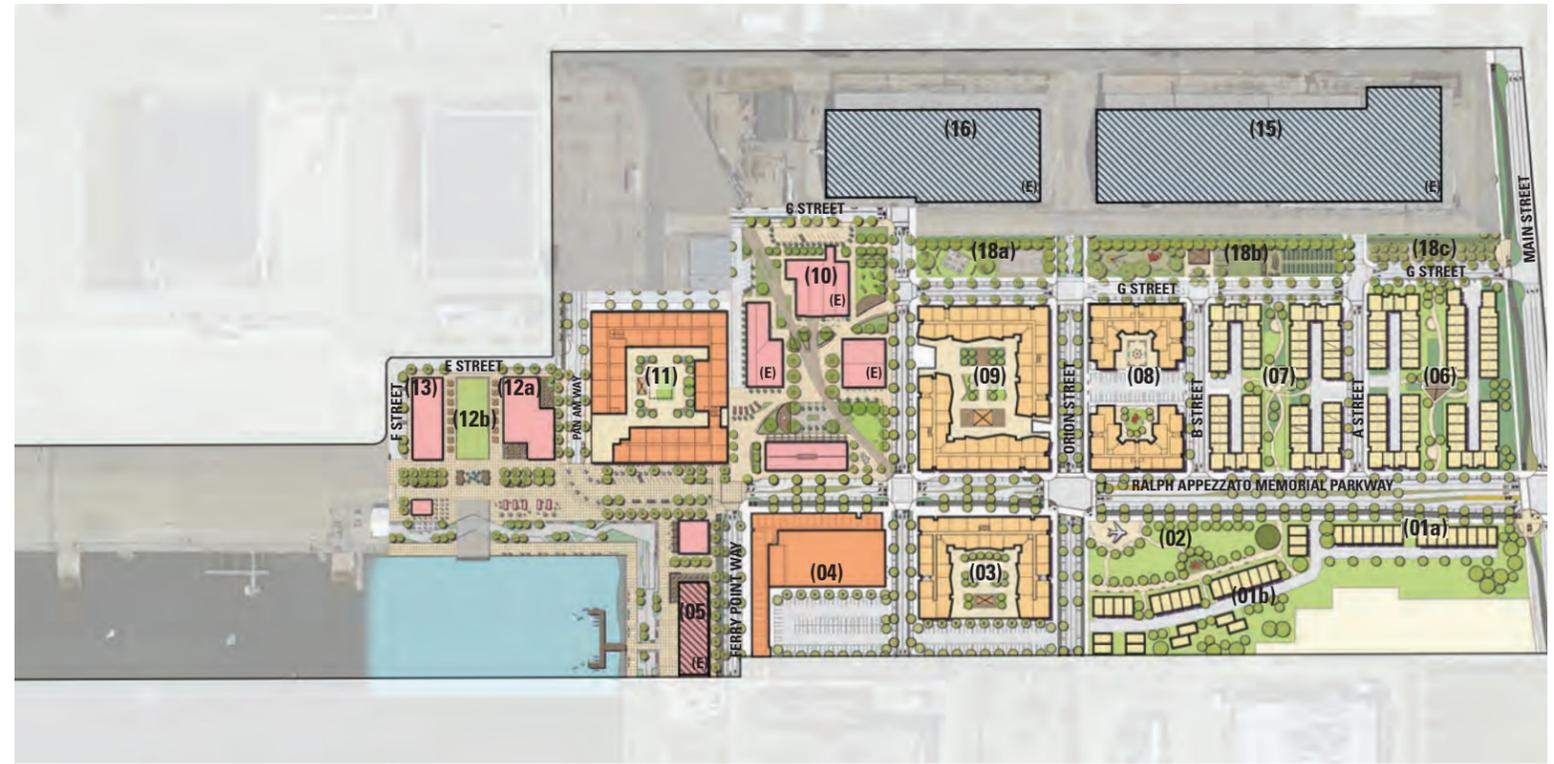
ALAMEDA POINT | ALAMEDA, CA

**ILLUSTRATIVE SITE PLAN - ALL PHASES**

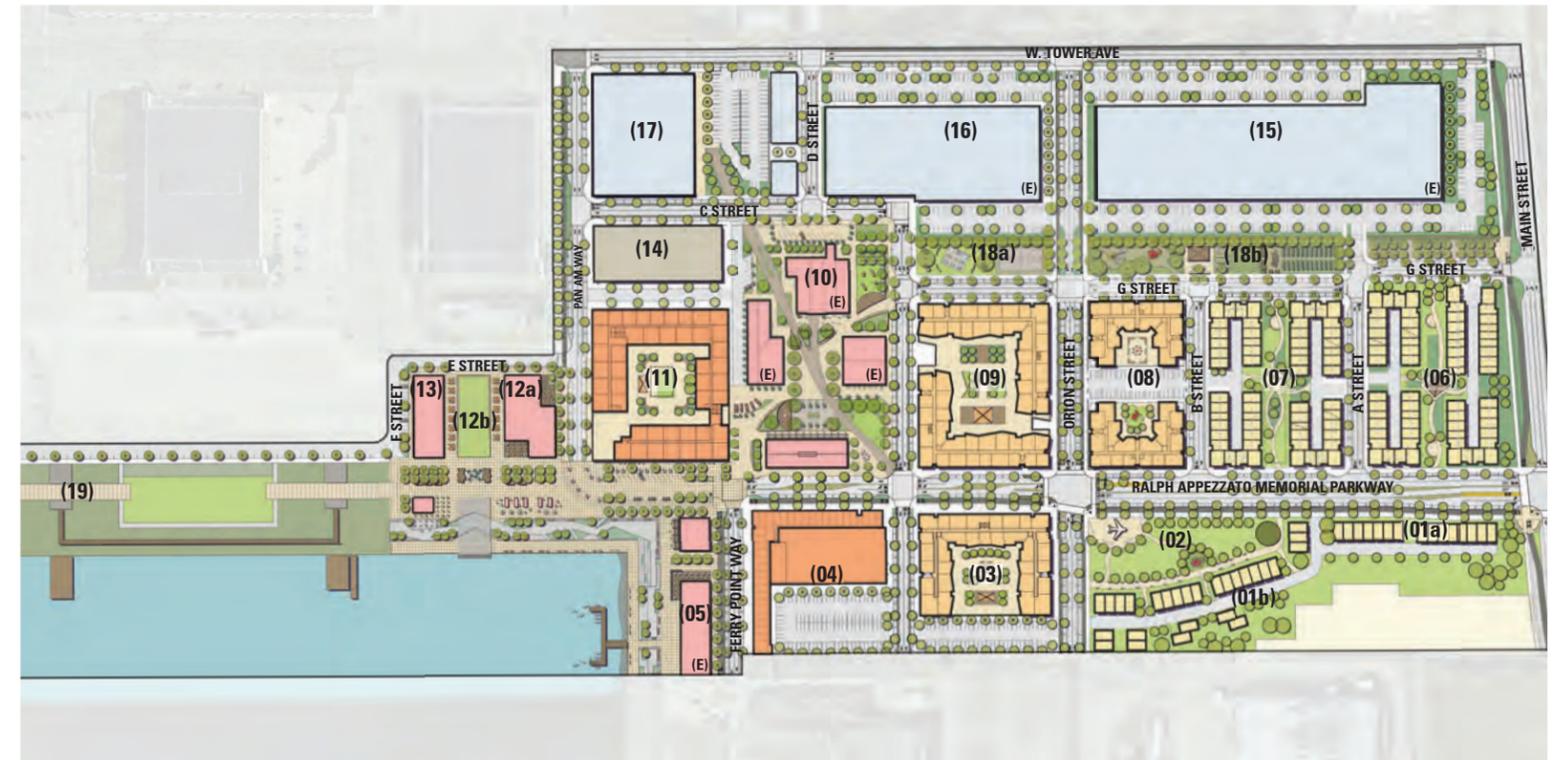




ILLUSTRATIVE SITE PLAN - PHASE 1



ILLUSTRATIVE SITE PLAN - PHASE 2



ILLUSTRATIVE SITE PLAN - PHASE 3

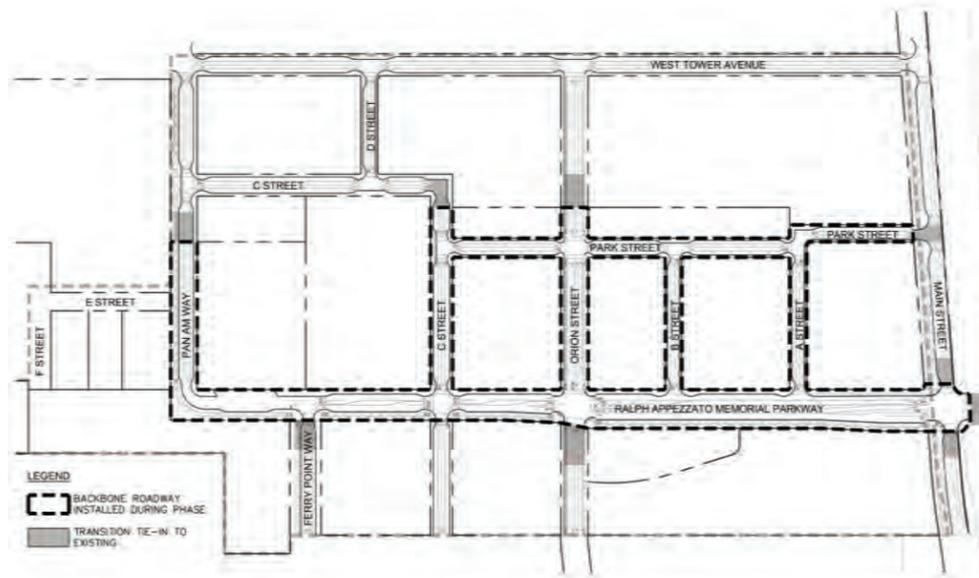
**LEGEND**

- |  |   |
|--|---|
| (E) EXISTING BUILDING  | COMMERCIAL (OFFICE/MANUFACTURING)                 |
| (##) BLOCK NUMBER  | RESIDENTIAL OVER GROUND FLOOR RETAIL & PARKING    |
| EXISTING BUILDINGS AND/OR SITES MAY BE OCCUPIED WITH USES CONSISTENT WITH THIS PLAN DURING ANY PHASE | RESIDENTIAL OVER ADAPTABLE GROUND FLOOR & PARKING |
| PUBLIC PARKING   | RESIDENTIAL TOWNHOME                              |
| OPEN SPACE - NEIGHBORHOOD PARK   | RETAIL (SHOPS & RESTAURANTS)                      |

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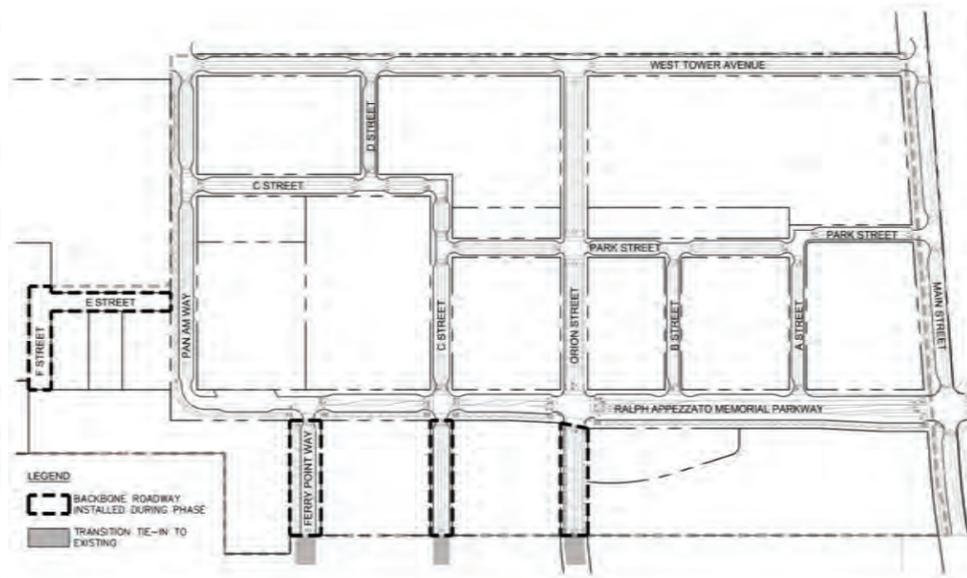
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ILLUSTRATIVE SITE PLAN - PHASING



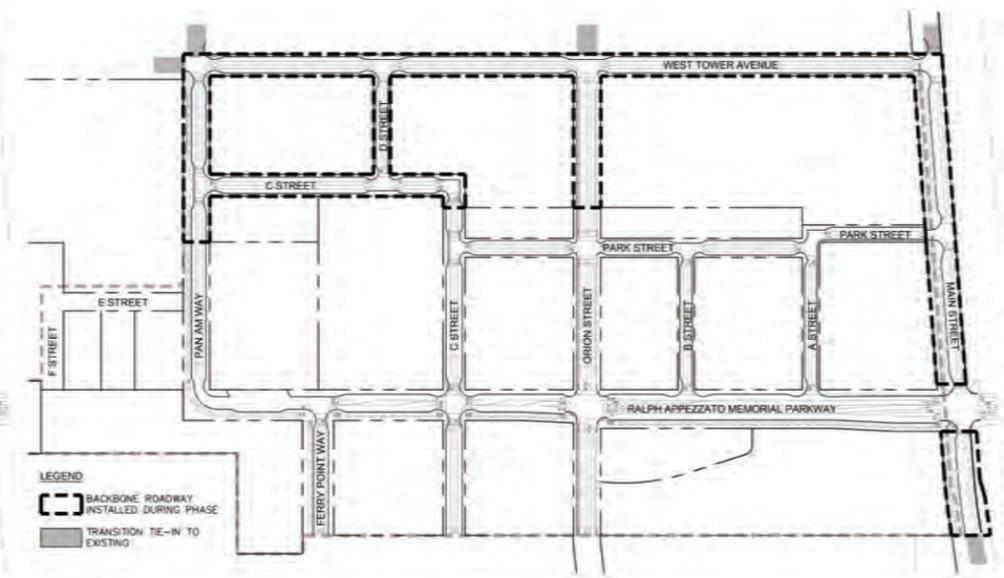
PHASE 1 BACKBONE ROADWAY INFRASTRUCTURE  
04/14/2015 1 OF 3

NOT TO SCALE



PHASE 2 BACKBONE ROADWAY INFRASTRUCTURE  
04/14/2015 2 OF 3

NOT TO SCALE



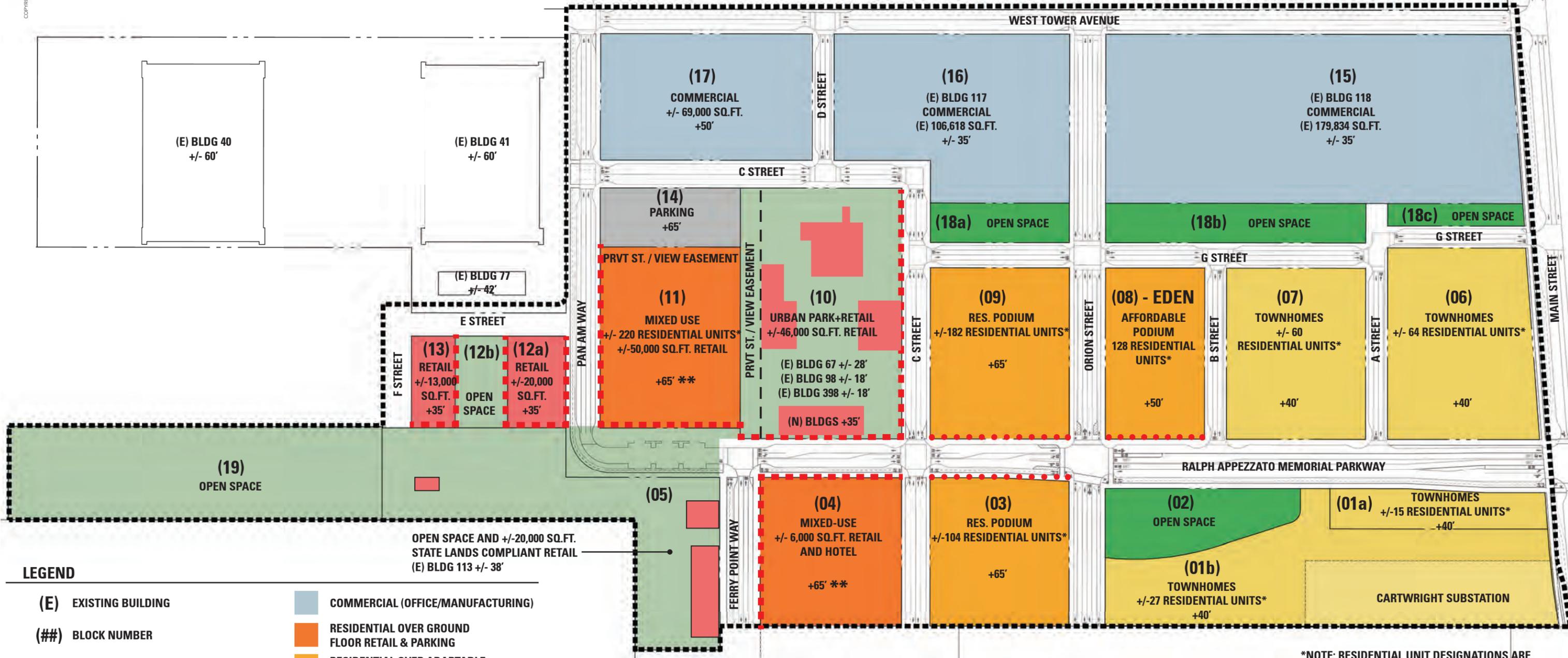
PHASE 3 BACKBONE ROADWAY INFRASTRUCTURE  
04/14/2015 3 OF 3

NOT TO SCALE

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# STREET / SURFACE IMPROVEMENTS PHASING



**LEGEND**

- (E) EXISTING BUILDING
- (##) BLOCK NUMBER
- GROUND FLOOR RETAIL FRONTAGE
- .... ADAPTABLE GROUND FLOOR FRONTAGE
- OPEN SPACE - NEIGHBORHOOD PARK
- OPEN SPACE - PARK / PLAZA
- COMMERCIAL (OFFICE/MANUFACTURING)
- RESIDENTIAL OVER GROUND FLOOR RETAIL & PARKING
- RESIDENTIAL OVER ADAPTABLE GROUND FLOOR & PARKING
- RESIDENTIAL TOWNHOME
- RETAIL, FOOD AND BEVERAGE, ENTERTAINMENT
- PUBLIC PARKING

\*NOTE: RESIDENTIAL UNIT DESIGNATIONS ARE APPROXIMATE, PER BLOCK, BUT TOTAL SHALL NOT EXCEED 800 RESIDENTIAL UNITS ACROSS "SITE A"

\*\* PER PRECISE PLAN, HEIGHT MAY EXCEED 65' WITH SPECIAL CONSIDERATION, IF THE FOLLOWING FINDING CAN BE MADE: THE BUILDING EXHIBITS EXCEPTIONAL ARCHITECTURAL DESIGN AND IS TRANSIT SUPPORTIVE

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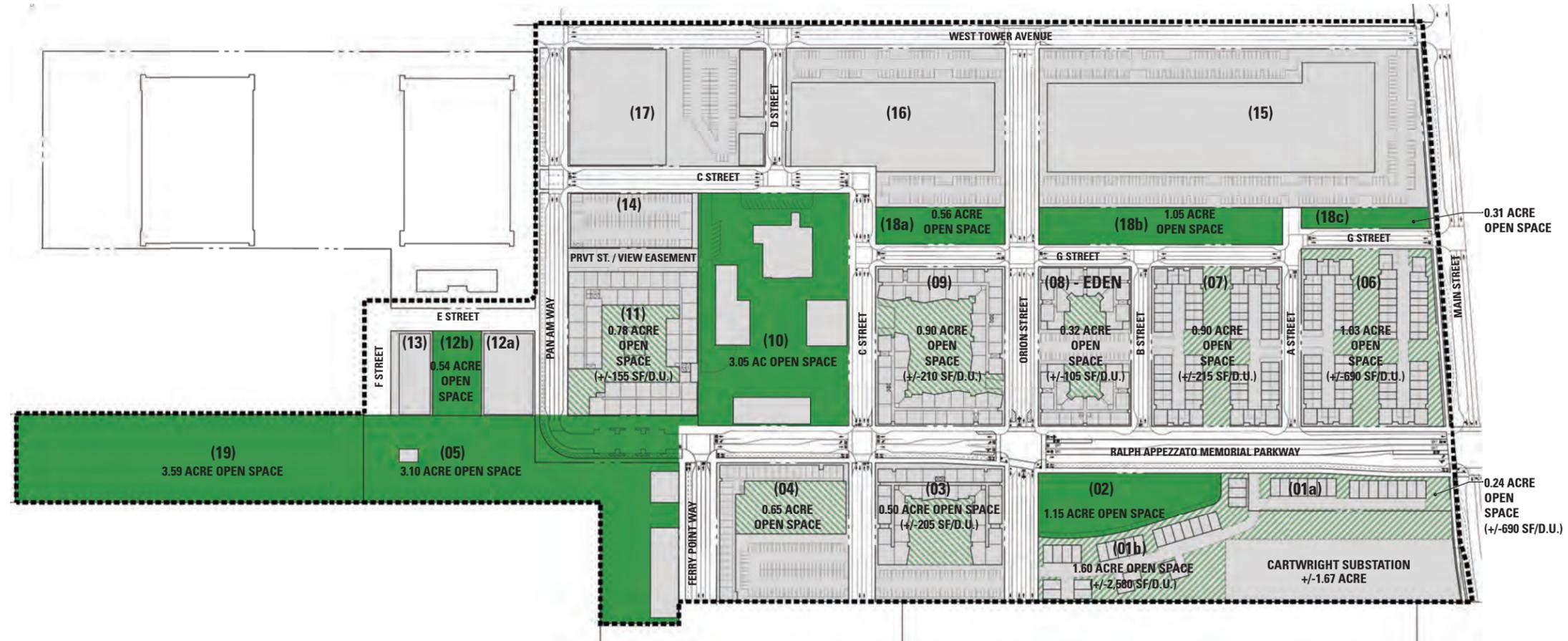
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**LAND USE DIAGRAM**

**PARCEL ACREAGE**

	+/- 14.80 ACRES PUBLIC PARK/PLAZA
	+/- 16.33 ACRES STREET R.O.W.
	+/- 36.7 ACRES PRIVATE
<b>+/- 67.8 SITE A</b>	

**PARCEL DIAGRAM**



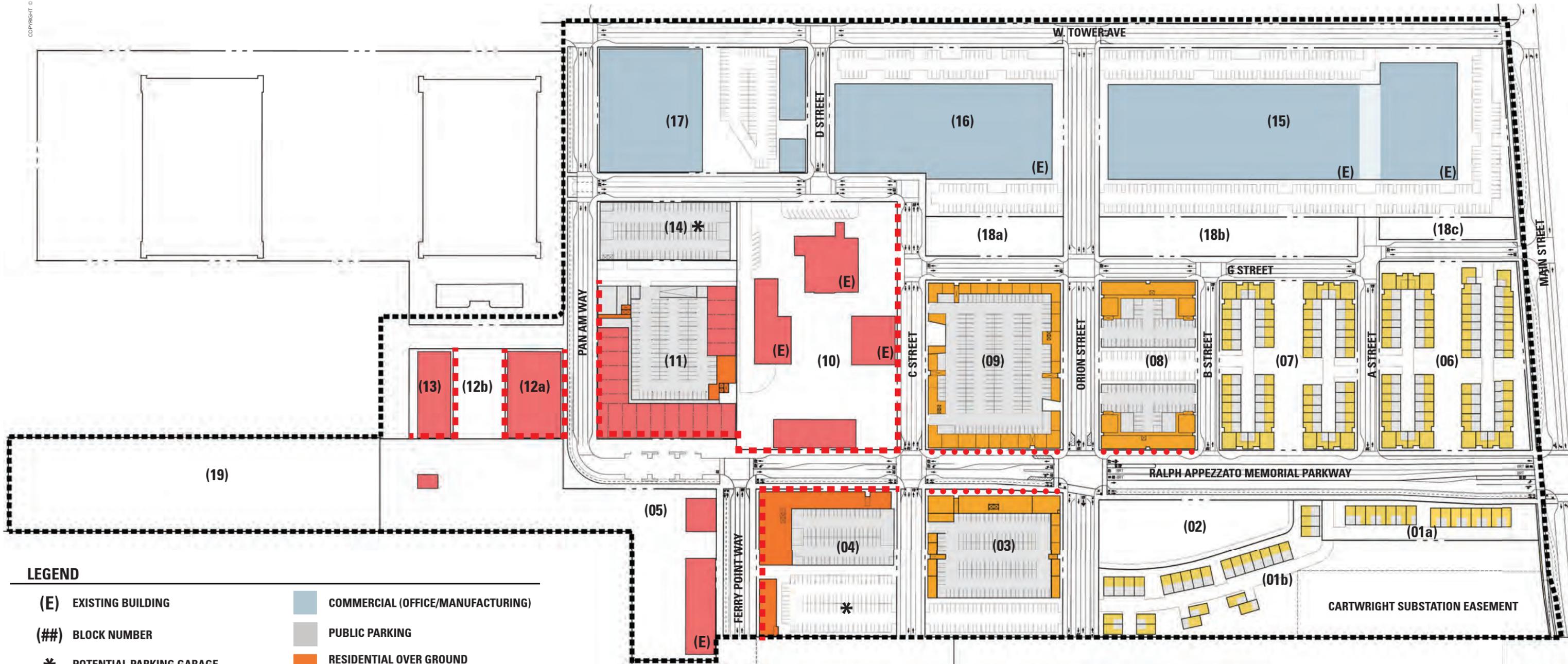
	BUILDING OR PARKING
	PUBLIC PARK/PLAZA
	PRIVATIZED OPEN SPACE ON GRADE
	PRIVATIZED OPEN SPACE ON PODIUM

**OPEN SPACE DIAGRAM**

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OPEN SPACE & PARCEL DIAGRAMS

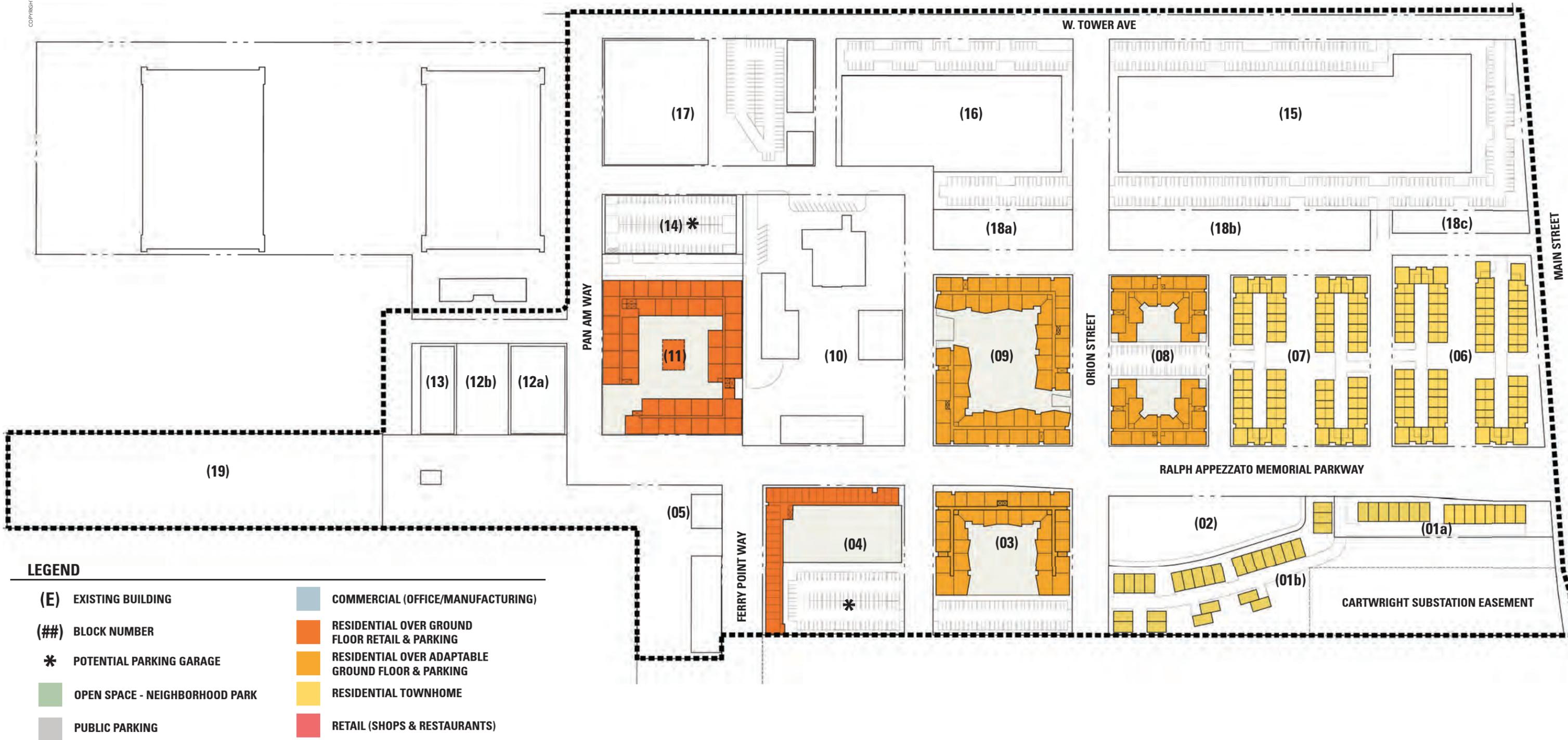


**LEGEND**

(E) EXISTING BUILDING	COMMERCIAL (OFFICE/MANUFACTURING)
(##) BLOCK NUMBER	PUBLIC PARKING
* POTENTIAL PARKING GARAGE	RESIDENTIAL OVER GROUND FLOOR RETAIL & PARKING
■■■■■ GROUND FLOOR RETAIL FRONTAGE	RESIDENTIAL OVER ADAPTABLE GROUND FLOOR & PARKING
●●●●● ADAPTABLE GROUND FLOOR FRONTAGE	RESIDENTIAL TOWNHOME
■ OPEN SPACE - NEIGHBORHOOD PARK	RETAIL (SHOPS & RESTAURANTS)

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GROUND FLOOR PLAN



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TYPICAL UPPER LEVEL PLAN

# ALAMEDA POINT SITE A – UNIVERSAL DESIGN AND AGING IN PLACE:

THE GENERAL PLAN HOUSING ELEMENT IDENTIFIES THE NEED FOR HOUSING FOR PEOPLE WITH DISABILITIES AND SENIORS, WHO WISH TO “AGE IN PLACE”. THE GOAL OF UNIVERSAL DESIGN IS TO BE ACCESSIBLE, FLEXIBLE, SIMPLE, AND EQUITABLE. THE SITE PLANNING AND BUILDING DESIGN AT ALAMEDA POINT SITE A ADDRESSES THESE KEY CONCEPTS IN SEVERAL WAYS. THE PLAN INCLUDES SMALL WALKABLE BLOCK SIZES, OPTIONS FOR PARKING, A VARIETY OF LANDSCAPED SPACES, AND WIDE SIDEWALKS. ASSORTED UNIT TYPES WITH INTEGRATED UNIVERSAL DESIGN FEATURES WILL APPEAL TO A WIDE RANGE OF RESIDENTS. PARCELS 03, 08, 09, AND 11 PROVIDE SINGLE-STORY RESIDENTIAL UNITS, WHICH SIGNIFICANTLY BOOSTS PROVISION FOR UNIVERSAL DESIGN.

ALL SINGLE-STORY (RESIDENTIAL FLAT) UNITS INCLUDE THE FOLLOWING UNIVERSAL DESIGN ELEMENTS:

- ACCESSIBLE ROUTE OF TRAVEL FROM A PUBLIC SIDEWALK TO THE UNIT’S PRIMARY ENTRANCE.
- ACCESSIBLE ROUTE OF TRAVEL FROM THE ACCESSIBLE PARKING STALLS TO THE UNIT’S PRIMARY ENTRANCE. ACCESSIBLE PARKING STALLS ARE LOCATED CONVENIENTLY NEAR ELEVATOR LOBBIES, THUS ENSURING CONVENIENT ACCESS TO ONE’S DWELLING UNIT.
- MINIMUM 32” CLEAR PRIMARY ENTRY DOORWAY AND A “NO STEP ENTRY” (1/2” OR LESS THRESHOLD) WITH DUAL PEEPHOLE AND DOORBELL.
- ALL EXTERIOR/INTERIOR DOORS SHALL MEET CALIFORNIA BUILDING CODE CHAPTER 11A. CODE-REQUIRED MANEUVERING CLEARANCES, HARDWARE, THRESHOLDS, AND STRIKE SIDE CLEARANCES.
- AN ACCESSIBLE ROUTE OF TRAVEL WITH A MINIMUM 42” WIDE HALLWAY TO ALL BEDROOMS, LIVING ROOM, KITCHEN, AND BATHROOMS.
- LIGHT SWITCHES, ELECTRICAL RECEPTACLES, AND ENVIRONMENTAL CONTROLS ARE MOUNTED AT ACCESSIBLE HEIGHTS.
- ROCKER LIGHT SWITCHES THROUGHOUT UNIT.
- MINIMUM REQUIRED WORK/FLOOR CLEARANCE OF 30”X48” IN FRONT OF STOVE, REFRIGERATOR, DISHWASHER, SINK, AND OVEN.
- COUNTERTOPS WITH A 30” WIDE WORKSPACE AND/OR ONE OR MORE 15” BREADBOARDS INSTALLED BETWEEN 28-32” HIGH.
- UNDER-CABINET LIGHTING.
- AT LEAST ONE FULL BATHROOM ON ACCESSIBLE ROUTE OF TRAVEL.
- STANDARD BATHTUB AND TOILET WITH GRAB BAR REINFORCEMENT.
- BATHROOM SHALL BE PROVIDED WITH REMOVABLE BASE CABINET AT LAVATORY.
- ACCESSIBLE MEDICINE CABINET AND INTEGRAL MIRROR, LOWER TOWEL RACKS AND ROBE HOOKS, AND ACCESSIBLE TOILET TISSUE HOLDER.
- ALL RESIDENTIAL AMENITY SPACES AND COMMON OUTDOOR SPACES ARE LOCATED ALONG THE ACCESSIBLE PATH OF TRAVEL THROUGH THE BUILDING.

10% OF ALL TOWNHOME UNITS WILL BE PROVIDED WITH ACCESSIBLE GROUND FLOOR LEVELS WHICH CAN BE CONFIGURED TO ACCOMMODATE A BEDROOM, BATHROOM AND KITCHENETTE ON AN ACCESSIBLE ROUTE OF TRAVEL FROM THE EXTERIOR. ADDITIONALLY, ALL TOWNHOME UNITS INCLUDE THE FOLLOWING UNIVERSAL DESIGN ELEMENTS:

- ACCESSIBLE ROUTE OF TRAVEL FROM THE PARKING STALL INTO THE UNIT.
- AN ACCESSIBLE ROUTE OF TRAVEL WITH A MINIMUM 42” WIDE HALLWAY THROUGHOUT THE ACCESSIBLE ENTRY LEVEL.
- A MINIMUM OF ONE POWDERROOM AT THE ENTRY LEVEL, AND ALONG THE ACCESSIBLE ROUTE OF TRAVEL. THE POWDERROOM SHALL BE PROVIDED WITH GRAB-BAR REINFORCEMENTS, REQUIRED TOILET AND LAVATORY CLEAR APPROACH, ACCESSIBLE TOILET TISSUE HOLDER, AND A REMOVABLE BASE CABINET AT THE LAVATORY.
- CODE-REQUIRED MANEUVERING CLEARANCES, HARDWARE, THRESHOLDS, AND STRIKE SIDE CLEARANCES SHALL BE PROVIDED FOR INTERIOR AND EXTERIOR DOORS AT THE ENTRY LEVEL.

ALL PARKS COMMERCIAL AREAS AND PLAZA’S INCLUDE THE FOLLOWING UNIVERSAL DESIGN ELEMENTS:

- ACCESSIBLE ROUTE OF TRAVEL CONNECTING PROGRAMMATIC ELEMENTS AND POINTS OF INTEREST.
- ACCESSIBLE SEATING IS PROVIDED THROUGHOUT PUBLIC SPACE.
- ACCESSIBLE PARKING STALLS FOR RETAIL ARE PROVIDED BOTH ON AND OFF-STREET AND LOCATED NEAR THE INTERSECTION OF RALPH APPEZZATO PARKWAY AND PAN AM WAY. THESE SAME STALLS PROVIDE ACCESS TO KEY POINTS OF ENTRY INTO THE URBAN PLAZA AND WATERFRONT PROMENADE.
- THE PARKS AND PLAZAS AT SITE A ARE DESIGNED TO ALLOW FOR MAXIMUM ACCESS. ACCESSIBLE ROUTES ARE LOCATED THROUGHOUT THE PLAZAS AND CONNECT POINTS OF INTEREST, PROGRAMMED SPACES, AND SEATING AREAS WITH THE ACCESSIBLE PARKING STALLS.

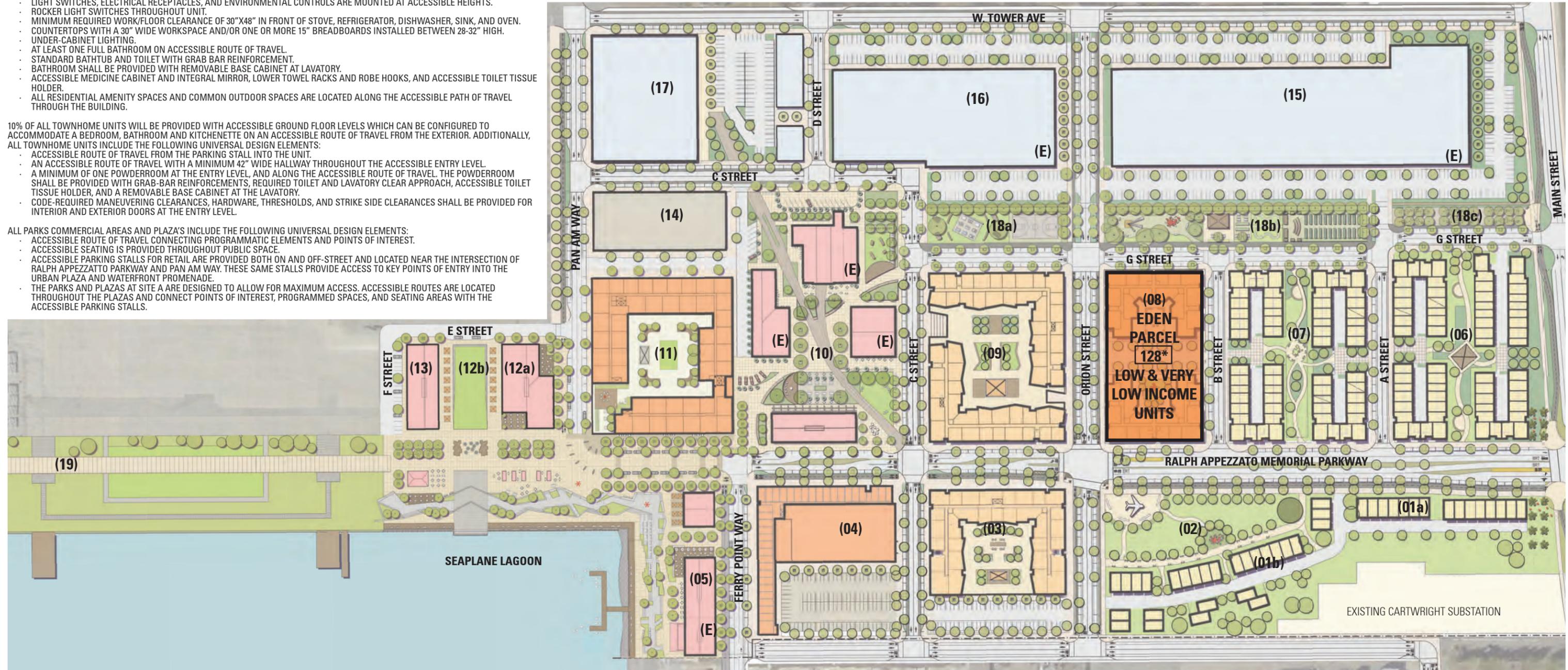
# LEGEND

- (E) EXISTING BUILDING
- (##) BLOCK NUMBER
- PUBLIC PARKING
- OPEN SPACE - NEIGHBORHOOD PARK
- COMMERCIAL (OFFICE/MANUFACTURING)
- RESIDENTIAL OVER GROUND FLOOR RETAIL & PARKING
- RESIDENTIAL OVER ADAPTABLE GROUND FLOOR & PARKING
- RESIDENTIAL TOWNHOME
- RETAIL (SHOPS & RESTAURANTS)

**\*ALL MODERATE-INCOME AFFORDABLE HOUSING UNITS (I.E., 72 UNITS) WILL BE INTERSPERSED THROUGHOUT THE MARKET-RATE HOUSING (PARCELS 1, 3, 6, 7, 9 OR 11) AND MAY BE VARIED UNIT AND PRODUCT-TYPE MIX AND OWNERSHIP TYPE (I.E., RENTAL/FOR SALE).**

INCOME TYPE	NUMBER OF UNITS	PARCEL LOCATION
LOW & VERY LOW	128	08
MODERATE	72	01, 03, 06, 07, 09, OR 11
TOTAL:	200	

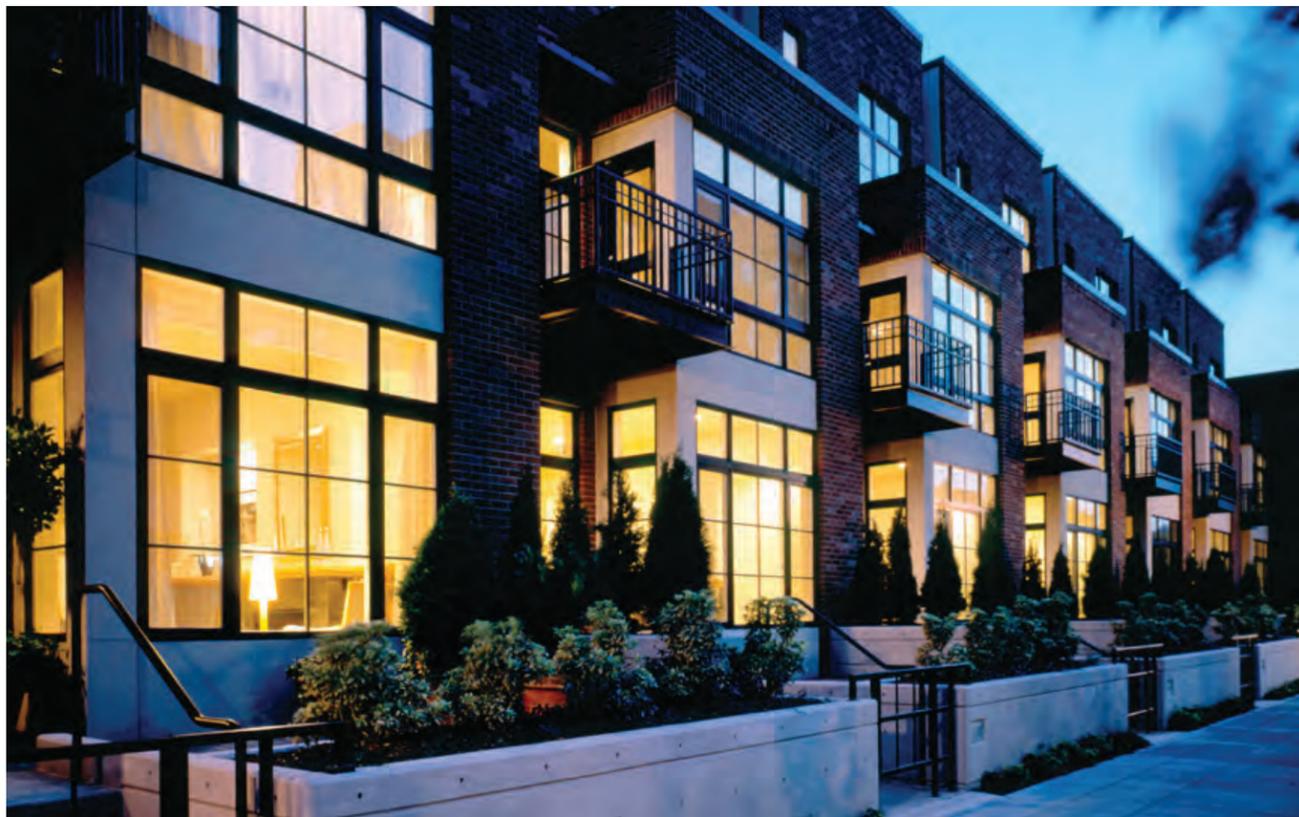
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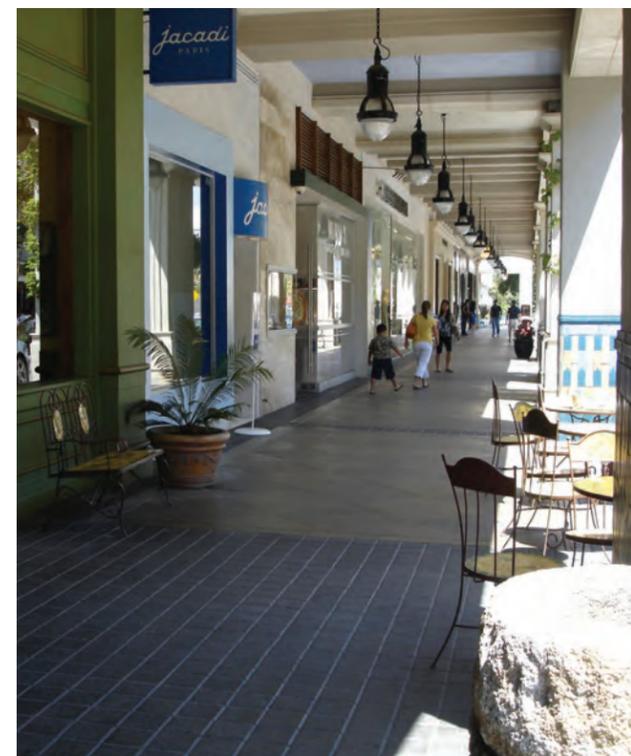
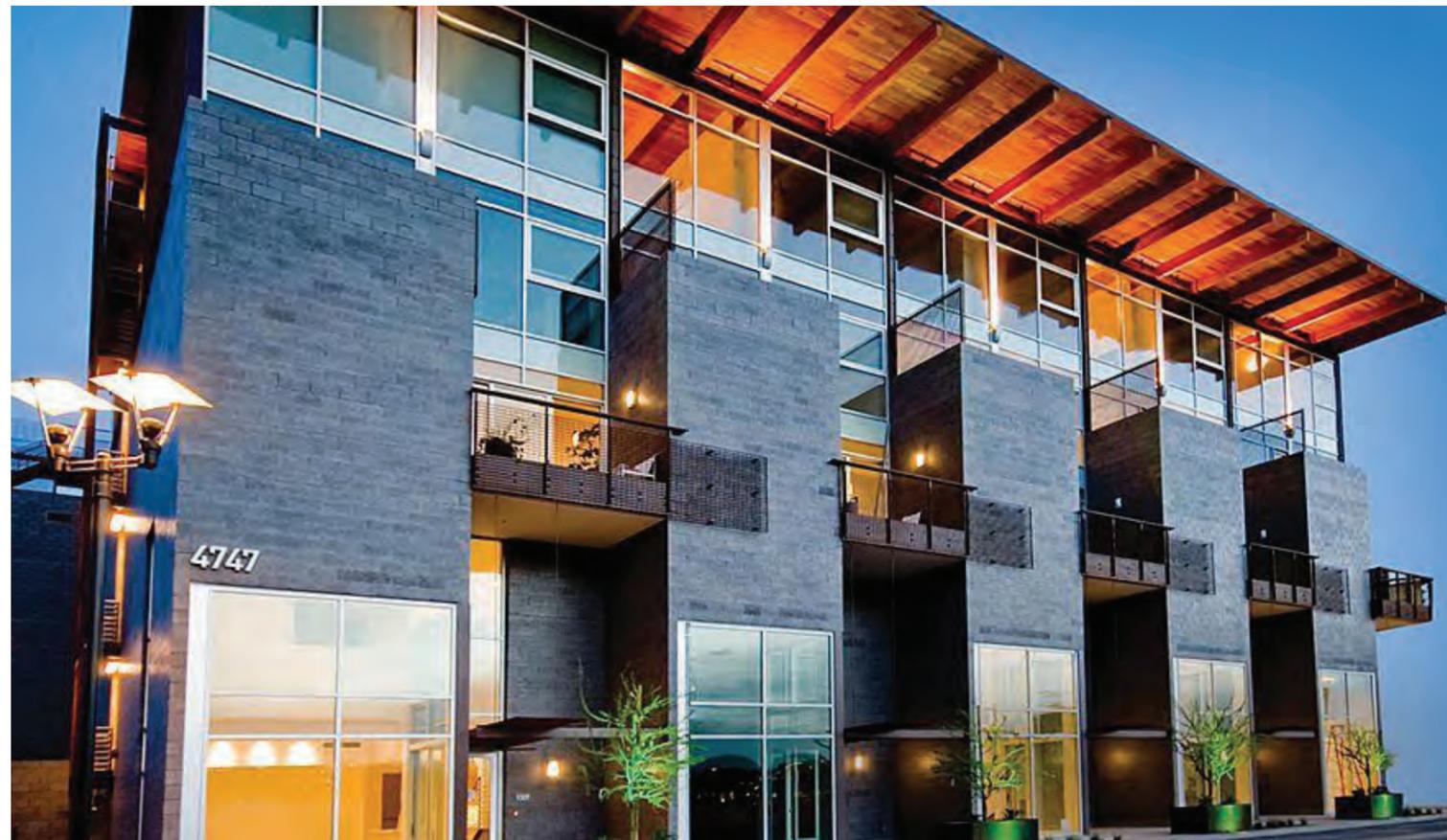
AFFORDABLE HOUSING PLAN AND UNIVERSAL DESIGN



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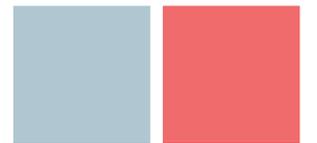
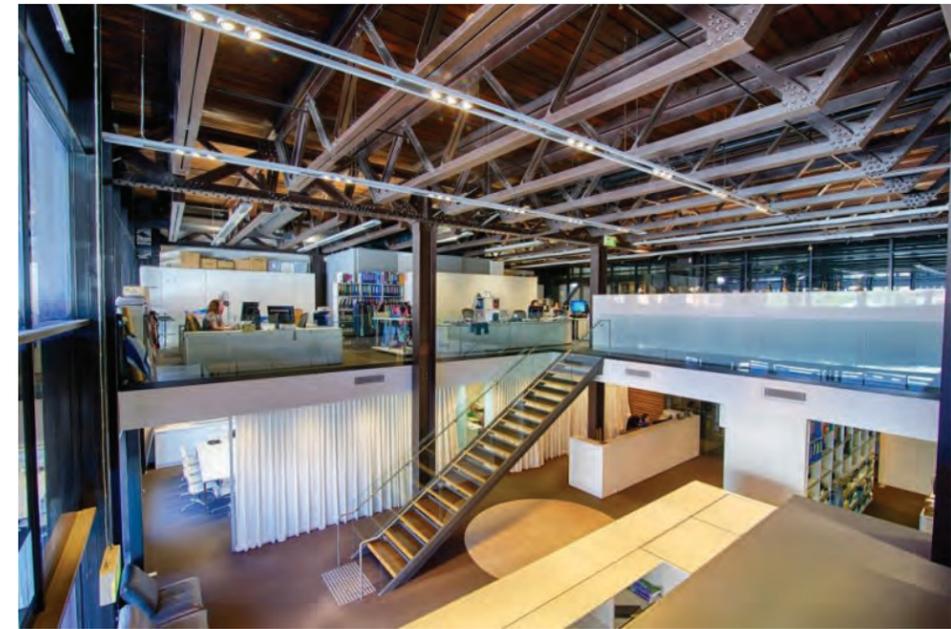
ARCHITECTURAL CHARACTER IMAGES - TOWN HOMES



# ALAMEDA POINT

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# ARCHITECTURAL CHARACTER IMAGES - MIXED USE & STACKED FLATS



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ARCHITECTURAL CHARACTER IMAGES - COMMERCIAL & FREESTANDING RETAIL