

ADMINISTRATIVE PROCESS FOR CERTIFICATION OF PRIVATE SEWER LATERAL

The Alameda Municipal Code, Section 18-6.2 states, in part, that if a property is to be sold, or there is any transfer of title, or if the property owner obtains a building permit to construct or alter the property at an estimated cost in excess of \$90,000, a sewer lateral certification must be obtained prior to the transfer of title or construction. The only exceptions are for commercial buildings with the face of the building located less than five feet (5') from the public property line and for condominiums or cooperative apartment buildings where there are no individual sewer laterals serving each dwelling unit. A copy of the relevant sections of the Alameda Municipal Code concerning the City of Alameda sewer lateral testing and certification regulation is attached.

The City of Alameda will allow the transfer of the title prior to the final certification of sewer lateral provided an estimate of cost to repair the sanitary sewer lateral is prepared by a licensed plumbing contractor, a *City permit is obtained for the necessary repair work*, and sufficient funds are held in an escrow account to cover the cost of the lateral repair. The City requires that all necessary correction work must be completed within a maximum period of three (3) month after close of escrow.

The following is a step-by-step description of the necessary procedure to obtain a sewer lateral certification:

Step One

The property owner or licensed plumbing contractor must obtain a plumbing permit for testing of the sewer lateral and, if needed, installation of a two-way clean out at the property line.

Step Two

- a. If the property line two-way clean out is existing, go to step three. If not, install a two-way clean out at the property line as shown on the attached Standard Plan Drawing No. 8396 and 8397, Case 34.
- b. If the property owner has a sanitary sewer lateral which connects to a private common sewer or a public sewer easement, it shall be the homeowner's responsibility to install a two-way clean out at the point where the building sewer lateral connects to the common sewer or at the edge of the sewer easement. Another option is to install a new sewer lateral directly from the structure to the City's sewer main in the street, and to abandon the old sewer lateral.

Step Three

- a. Test sewer lateral
 - Water Exfiltration Test: The owner's contractor shall furnish all necessary materials and equipment for the water exfiltration test at the owner's expense. The contractor shall plug the lateral and riser at the clean out, and surcharge the line with water to a point equal to the foundation grade (floor joist level) or slab floor level. If there is any fixture inside the structure lower than the testing water level, the contractor will have to either plug the fixture or to plug the lateral at the building.
 - The lateral shall be surcharged for 30 minutes and the amount of water loss shall be measured. The lateral shall be considered acceptable if the amount of water loss is less than four (4) gallons for a four inch (4") lateral. On an individual basis, the amount of allowable water loss may be adjusted by the City Inspector for a six inch (6") lateral or unusually long lateral lengths. See Standard Drawing 9277-32, available from the City Permit Center or City Engineering Office, for a visual procedure reference.

- b. The City Inspector must witness the lateral test to sign off the inspection card and obtain the sewer lateral certification. Call (510) 747-6830 between 7:30 and 8:30 a. m. to make an appointment for this inspection. All arrangements and set-ups should be completed prior to the arrival of the City Inspector to witness the test.

Step Four

- a. If the sewer lateral passes the water infiltration test, no additional work is required. If the lateral does not pass the test, the lateral must be either repaired or replaced and retested as described in step three. An additional permit will be required to repair or replace the lateral and all fees must be paid for this permit. The City Inspector must witness the lateral test to sign off the inspection card. The signed inspection record card constitutes the sewer lateral certification.

Additional Information

A sewer lateral certification on an existing or repaired sewer lateral is valid for seven (7) years. If a new sewer lateral is installed or an existing lateral is replaced, no additional certification will be required for twenty (20) years.

It is not the intent of the City of Alameda to require existing sewer collection systems which pose no health or safety hazard, that were installed in accordance with the applicable laws in effect at the time of installation, and which have been properly maintained, to be made to comply with the current Plumbing Code. However, the City of Alameda does require that all plumbing system Health and Safety violations identified by the City Inspector are corrected prior to approval of a sewer lateral certificate. If any violations are discovered at the subject premise, a separate plumbing permit is required for the violation correction work.

NOTICE TO APPLICANTS FOR SEWER LATERAL PERMITS

The City of Alameda requires that all plumbing system Health and Safety violations be corrected prior to approval of a sewer lateral certificate. If any violations exist at the subject premise, a *separate* plumbing permit is required for the violation correction work.

The following items are considered Health and Safety violations:

1. Any leaking, damaged, or deteriorated pipes, joints, or fittings
2. Improper materials (e.g. PVC or ABS on building exterior, galvanized pipe below grade)
3. Improperly vented fixtures
4. Hopper drains
5. Bell-vented S-traps
6. Area drains connected to a sanitary sewer
7. Roof leaders connected to a sanitary sewer
8. Plumbing fixtures which are below the level of the clean out where an approved backwater valve is not present

Please Note: If terracotta piping is discovered under any portion of any building, the sewer lateral may be tested and certified without requiring the removal or replacement of this material, however, no future additions or modifications to the house plumbing will be allowed unless all terracotta piping under the building is removed and replaced with pipe material approved for use under buildings.

ALAMEDA MUNICIPAL CODE EXCERPT

This is an excerpt; a link to the full code is available online at alamedaca.gov/city-hall/key-documents

18-6 SEWER LATERAL TESTING.

18-6.1 Definitions.

18-6.2 Sewer Lateral Testing Required.

18-6.3 Sewer Lateral Testing Procedure and Requirements.

18-6.4 Failure of Test.

18-6.5 Lateral Certification.

18-6.6 Exceptions.

18-6.7 Enforcement.

18-6.1 Definitions.

The following definitions shall apply to this section:

a. Cleanout means a pipe fitting and associated piping connected to a building sewer or lateral sewer line that provides access to the line for purposes of routine flushing, rodding, cleaning and other maintenance, and diagnostic purposes.

b. Compliance Certificate means a completed inspection card approved by a City Building Inspector indicating that the sewer lateral has successfully passed the testing requirements set forth in subsection 18-6.3

c. Director means the Public Works Director or his or her designee.

d. Non-residential means industrial, retail, or commercial uses; including but not limited to offices, hotels/motels, churches/religious facilities, hospitals/medical facilities, sports and entertainment facilities, marinas, and schools/day care facilities.

e. Plumbing fixture means an approved-type installed receptacle, device, or appliance that requires a building permit that is supplied with water or that receives liquid or liquid-borne wastes and discharges such wastes into the sewer system to which it may be directly or indirectly connected.

f. Sewer lateral means the upper and lower sections of sewer pipe that carry sewage and liquid waste from the building or structure served. The sewer lateral in its entirety is owned by, and the responsibility for its maintenance lies with, the property owner, the homeowners' association, or the responsible party whom it serves.

1. Lower sewer lateral means the part of the sewer pipe extending from the property line to the publicly owned main sewer.

2. Upper sewer lateral means the part of the sewer pipe extending from the property line to the building drain or structure served. When a sewer lateral connects to a rear or side yard sewer main located in an easement, the entire lateral, including the connection to the sewer main, shall be considered an upper sewer lateral.

3. Common sewer lateral means a lateral or private sewer main that serves two or more dwelling units and/or structures or one (1) or more non-residential structures.

g. Sewer main or main sewer means a sanitary sewer pipe owned and controlled by the City of Alameda.

h. Structure means any structure or building as defined in the California Building Code that is provided with public sewer service by the City of Alameda.

i. Two-way cleanout means a cleanout at or near the property line or street curb line that allows flushing, rodding, cleaning and other maintenance and diagnostic procedures in the sewer lateral. Two-way cleanouts shall be a Kelly cleanout or approved equal and shall conform to City of Alameda requirements, as shown on the City's Standard Drawings and as described in the City's specifications.

(Ord. No. 3048 N.S., § 1, 6-19-2012)

18-6.2 Sewer Lateral Testing Required.

a. The sewer lateral of any property located in the City shall be tested and all necessary repairs or replacements performed in accordance with subsection 18-6.3 when:

1. The property is to be transferred to or vested in any other person or entity by deed, instrument, or writing by which any land(s) are sold, granted, assigned, transferred or otherwise conveyed to, or vested in, a buyer or buyers thereof, or any other person or persons, and the property includes any buildings or structures constructed more than twenty (20) years prior to the transfer or vesting; or

2. The property owner or his or her appointed contractor applies for a building permit to construct, remodel, modify, or alter a building or structure and the cost of the construction, remodeling, modification, or alteration is estimated to exceed ninety thousand dollars (\$90,000.00) and includes the installation, replacement, or relocation of one (1) or more plumbing fixtures; or

3. The property is a condominium, townhouse, cooperative housing building, or non-residential building where the individual dwelling units or structures are served by a common sewer lateral and testing has not been performed within ten years commencing from the adoption of the ordinance from which this section is derived. Once this initial testing has been performed, subsequent testing shall be performed every twenty (20) years thereafter. The responsibility for testing the common sewer lateral and individual sewer laterals for each dwelling unit of a condominium, townhouse, cooperative housing building, or non-residential building shall be that of the homeowners' association or the responsible party/owner for this type of multi-unit structure.

b. Exemptions. Sewer lateral testing shall not be required where the property owner, homeowners' association, or responsible

party for residential and non-residential buildings can present proof to the Building Official that the lateral is less than twenty (20) years old or has been repaired within the last seven years. This provision shall not exempt condominiums, townhouses, cooperative housing buildings, or non-residential buildings from performing an initial test within ten years of the adoption of this section.

c. All required repair or replacement work shall be completed prior to transfer of title. Alternatively, funds may be retained in escrow sufficient to complete the work within ninety (90) days, if permitted by, and subject to any conditions required by, the Building Official in consultation with the Director. The seller and/or transferor of any real property shall be responsible for disclosing to prospective purchasers or transferees the requirements of this section and the compliance status of the real property in question. Upon transfer of ownership, the buyer/transferee will be responsible for the compliance with this section, regardless of any disclosure or failure to disclose.

(Ord. No. 3048 N.S., § 1, 6-19-2012)

18-6.3 Sewer Lateral Testing Procedure and Requirements.

The property owner or his or her appointed licensed plumbing contractor shall obtain a plumbing permit for sewer lateral testing before commencing with any testing required under this section. Sewer lateral testing shall be performed as follows:

a. Each sewer lateral is to have a two-way cast iron cleanout located in the City right-of-way, on private property adjacent to the City right-of-way, or on a public utility easement. If such cleanout does not exist, one (1) shall be installed by the owner or licensed plumbing contractor prior to performing any testing. Installation of the cleanout, if necessary, shall require a plumbing permit and shall be run to grade and covered by a meter box and lid as detailed in the City of Alameda Standard Drawings.

b. Testing may be accomplished by either a water exfiltration test or an air test, in accordance with the Administrative Process for Certification of Private Sewer Lateral, available as a handout in the Permit Center of the Community Development Department. Closed circuit television (CCTV) inspection may be performed in lieu of water exfiltration and air testing where the property owner can present proof that the sewer lateral is made of cast iron or plastic.

c. The test shall be witnessed by a qualified City Building Inspector. All arrangements and set-up should be completed by the time the City Building Inspector arrives to witness the test.

(Ord. No. 3048 N.S., § 1, 6-19-2012)

18-6.4 Failure of Test.

a. Should the upper lateral fail the testing in accordance with subsection 18-6.3, the lower lateral will be deemed to have automatically failed, and the City Building Inspector witnessing the test shall record the results in the City database. The results shall be relayed to the Director, who shall consider the results of the testing for the long-term planning of future cyclic sewer repair projects.

b. The upper lateral shall be either repaired or replaced as required. The property owner or licensed plumbing contractor shall obtain a plumbing permit for sewer lateral repair or

replacement and all other applicable City permits prior to commencement of work, until the City Building Inspector determines that the upper lateral has successfully passed the test.

(Ord. No. 3048 N.S., § 1, 6-19-2012)

18-6.5 Lateral Certification.

Should the upper lateral pass the testing in accordance with subsection 18-6.3, the City Building Inspector witnessing the test shall provide a compliance certificate stating that the upper lateral has passed to the property owner, who shall retain such certificate as proof of compliance. If the upper lateral required replacement or repair in order to pass the test, this fact shall be indicated on the compliance certificate. The City shall record and maintain the results of such testing in its database.

Where a sewer lateral has passed, with or without repairs, the compliance certificate shall be valid for seven (7) years. Where a sewer lateral has been replaced the compliance certificate shall be valid for twenty (20) years.

(Ord. No. 3048 N.S., § 1, 6-19-2012)

18-6.6 Exceptions.

The Director, in consultation with the Building Official, may waive the testing requirements under subsections 18-6.2 through 18-6.5 with conditions if he or she determines that compliance is not feasible. The City shall record these instances, including the property address and factual circumstances supporting the waiver, in its database.

(Ord. No. 3048 N.S., § 1, 6-19-2012)

18-6.7 Enforcement.

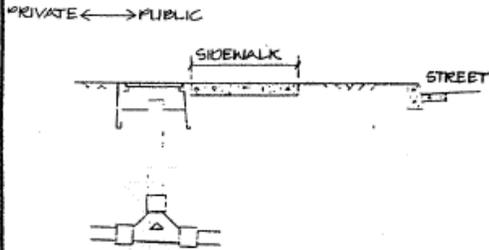
Any violation of any provisions of this section shall be deemed a misdemeanor but may be cited and prosecuted, in the discretion of the enforcing officer, as an infraction, and shall be punishable as set forth in Section 1-5 of the Alameda Municipal Code.

(Ord. No. 3048 N.S., § 1, 6-19-2012)

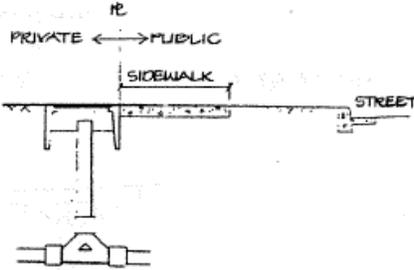
NOTES

1. IN LANDSCAPED AREAS, INSTALL BOX FLUSH WITH EXISTING GROUND.
2. IN CONCRETE AREAS OR DRIVEWAYS, INSTALL BOX FLUSH WITH ADJACENT SURFACE. RECONSTRUCT CONCRETE PER DWG. G295B-24.
3. IN DRIVEWAY AREAS, ANGLE BOX TO DRIVEWAY SLOPE. COVER & BOX SHALL BE TRAFFIC RATED.
4. *SEWER* SHALL APPEAR ON TOP OF LID. SEE DETAIL.
5. PRECISE LOCATIONS OF BOXES TO BE DETERMINED IN THE FIELD BY THE CITY INSPECTOR.

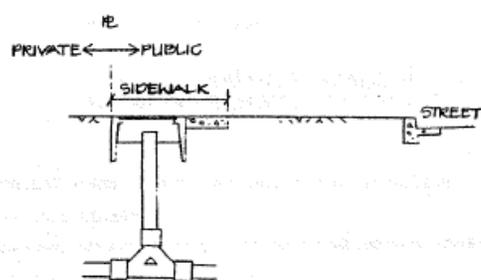
OPTION 1A - BEHIND SIDEWALK, IN PUBLIC RIGHT-OF-WAY
 RL (PROPERTY LINE)



OPTION 1B - BEHIND SIDEWALK, ON PRIVATE PROPERTY
 RL

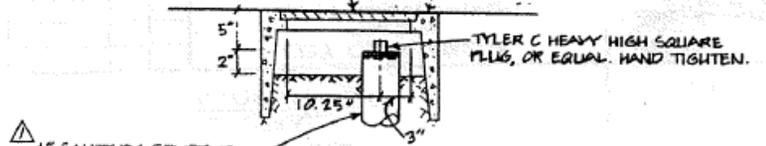


OPTION 2 - SIDEWALK OR DRIVEWAY
 RL



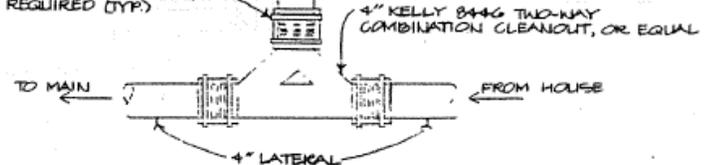
CLEANOUT LOCATIONS

INSTALL CHRISTY B3 METER BOX, OR EQUAL, FLUSH WITH EXISTING SURFACE. SEE LEFT FOR LOCATION.
 CHRISTY D10 LID, OR EQUAL. IN DRIVEWAYS USE CHRISTY D10 LID, OR EQUAL. SEE DETAIL

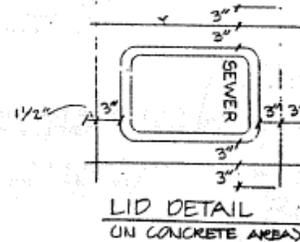


4" SANITARY SEWER PIPE CAST IRON (ANSI A21.6)

COMPRESSION SLEEVE COUPLER WITH BUSHING, AS REQUIRED (TYP)



#4 REBAR (TYP)



LID DETAIL ON CONCRETE AREA

3

NO.	REVISION	BY	APP.
2-13-97		JK	MR
DESIGNED FORNER			
DRAWN KERPEL			
CHECKED SANDERSON			
DATE	SCALE		
OCT. 1989	NONE		

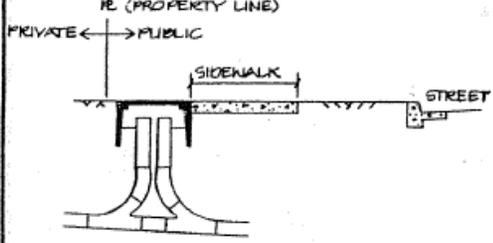
CITY OF ALAMEDA CALIFORNIA ENGINEERING DEPARTMENT	
STANDARD	
4" HOUSE LATERAL TWO-WAY CLEANOUT	

APPROVED BY <i>[Signature]</i> CITY ENGINEER
DATE 19 Dec 1989
SHEET 1 OF 1
DWG. 8396
CASE 34

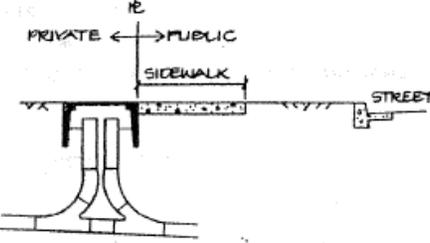
NOTES

- 1. IN LANDSCAPED AREAS, INSTALL BOX FLUSH WITH EXISTING GROUND.
- 2. IN CONCRETE AREAS OR DRIVEWAYS, INSTALL BOX FLUSH WITH ADJACENT SURFACE. RECONSTRUCT CONCRETE PER DWG. 6255B-24
- 3. IN DRIVEWAY AREAS, ANGLE BOX TO DRIVEWAY SLOPE. COVER & BOX SHALL BE TRAFFIC RATED.
- 4. "SEWER" SHALL APPEAR ON TOP OF LID. SEE DETAIL.
- 5. PRECISE LOCATIONS OF BOXES TO BE DETERMINED IN THE FIELD BY THE CITY INSPECTOR.

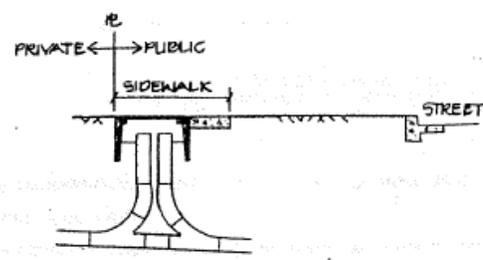
OPTION 1A - BEHIND SIDEWALK, IN PUBLIC RIGHT-OF-WAY



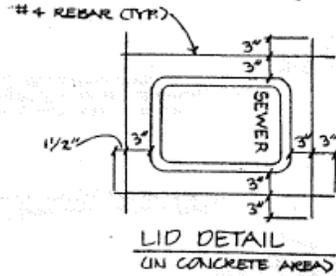
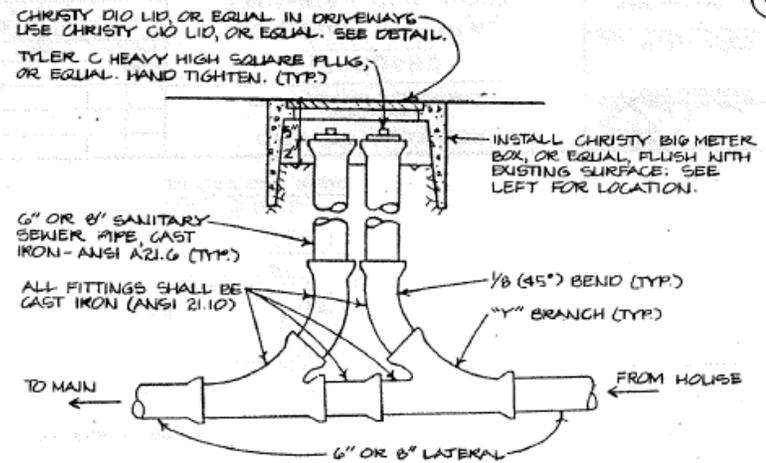
OPTION 1B - BEHIND SIDEWALK, ON PRIVATE PROPERTY



OPTION 2 - SIDEWALK OR DRIVEWAY



CLEANOUT LOCATIONS



CITY OF ALAMEDA CALIFORNIA ENGINEERING DEPARTMENT			APPROVED BY CITY ENGINEER
STANDARD 6" or 8" HOUSE LATERAL TWO-WAY CLEANOUT			DATE <u>19 Dec 1989</u>
NO. 2-13-97 DESIGNED FORNER DRAWN KERPEL CHECKED SANDERSON DATE OCT. 1989	REVISED BY APP. JK ME SCALE NONE	SHEET <u>1</u> OF <u>1</u> DWS. CASE 8397 34	