

Alameda Point

Community Presentation



NAS Alameda Transfer History

- Base Realignment and Closure Round - 1993
- Community Reuse Plan – 1996
 - Limited to 1,425 units for Alameda Point
- Decommissioned - 1997
- No-Cost Conveyance Agreement - 2000
- First Master Developer - 2000-2006
 - Changes to General Plan with focus on more housing (2000 units)
 - Protracted for-cost conveyance negotiations
 - Navy says price for land is \$108M
- Second Master Developer - 2007-2010
 - Change to plan again for more housing (4,800 units)
 - Protracted for-cost conveyance negotiations

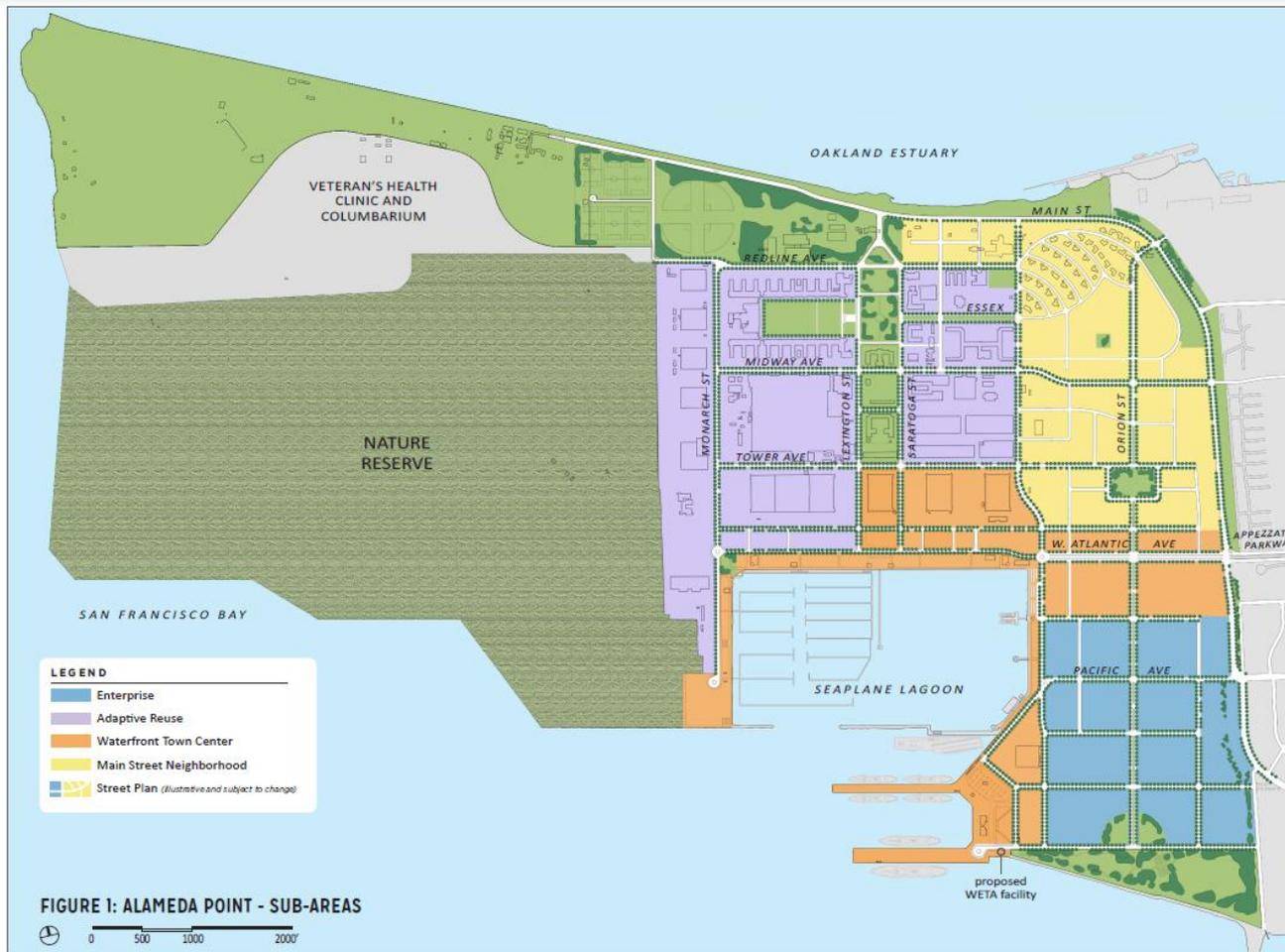
Current Approach

- City tackling regulatory challenges – no master developer (2010-2013)
- Create sub-districts with a focus on new construction and reuse areas
- Focus on employment and retail
- Allow for flexibility and be opportunistic

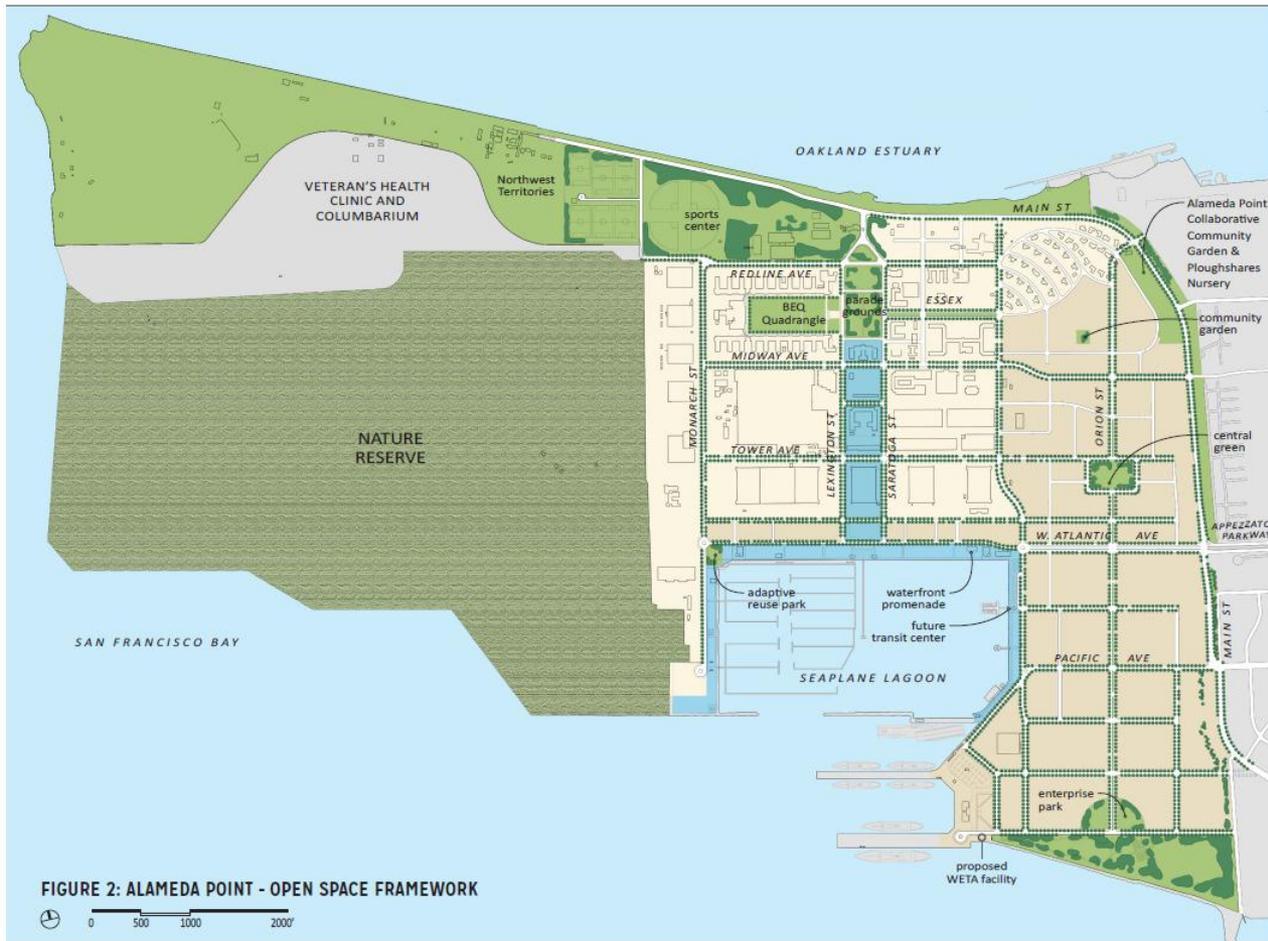
Alameda Point Agenda

- Conveyance – June 2013
- Planning Entitlement Process – January 2014
 - Draft Zoning Ordinance Amendment
 - Master Infrastructure Plan
 - Town Center & Waterfront Precise Plan
 - Environmental Impact Report
 - Transportation Demand Management Plan
- Developer Facilitation/Final Design Approvals – 2014-15
- Ready for Construction – 2015-16

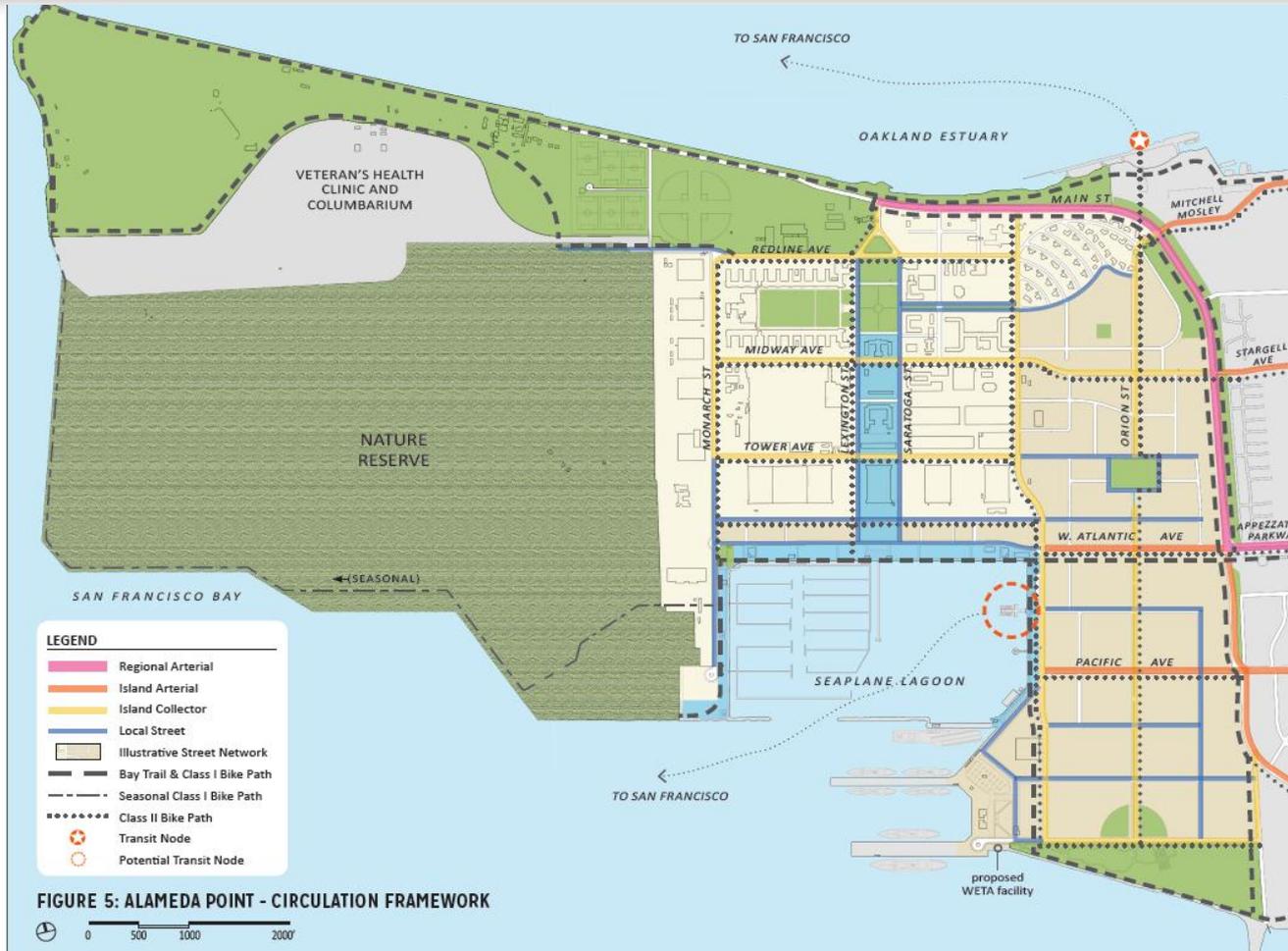
Alameda Point Sub-Areas



Open Space Framework



Circulation Framework



Proposed Zoning Amendment



Proposed Zoning Amendment

- Currently zoned General Industry/Government Overlay
- Establishes a variety of sub-districts, each with its own regulations and standards
- Establishes tables of permitted uses, building types, and form-based standards for each sub-district
- Requires more details plans for certain sub-districts
- General Plan Amendment will be needed to maintain consistency with proposed Zoning

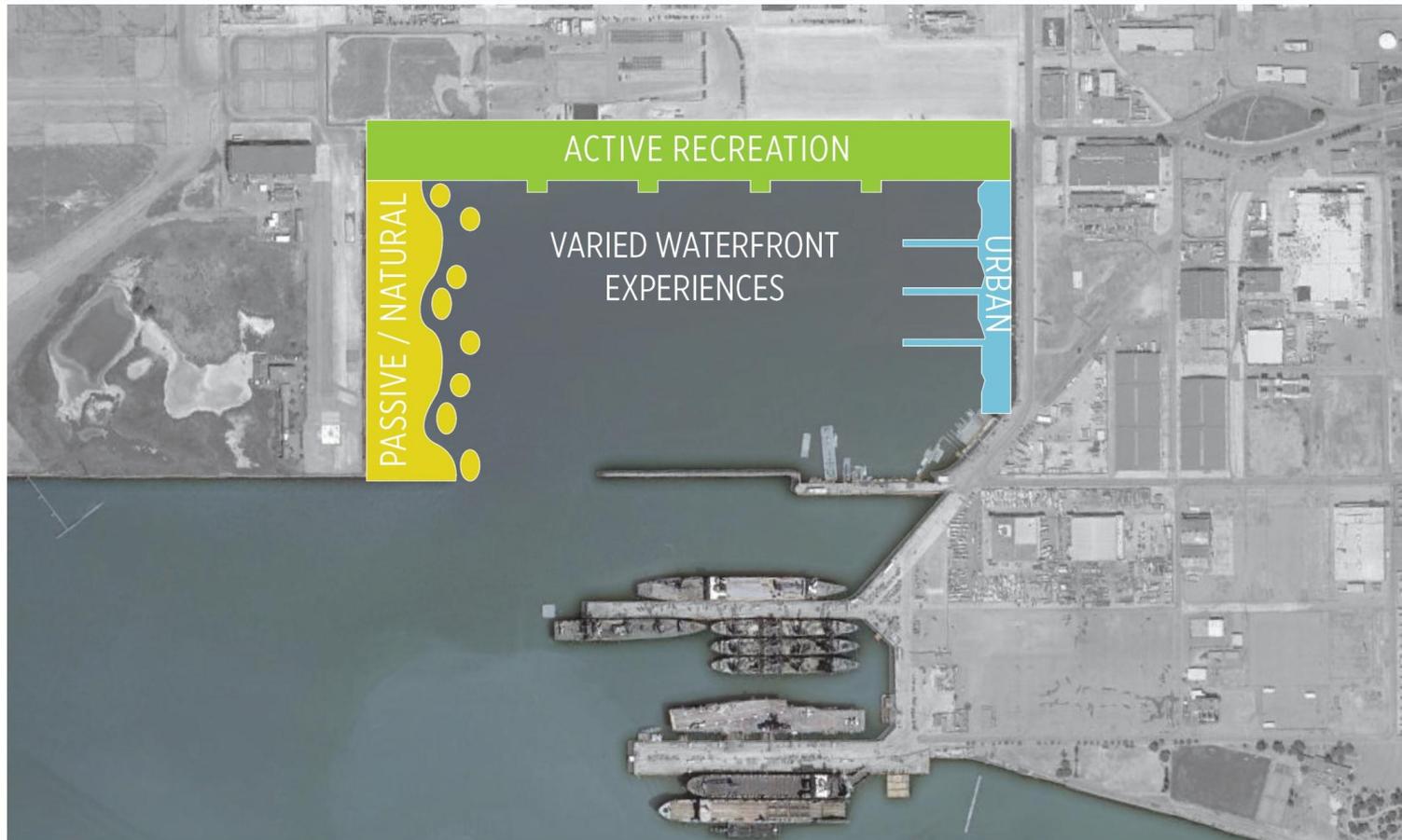
Master Infrastructure Plan

- Establish Requirements for Backbone Infrastructure to Support Reuse and Redevelopment
- Provide Guide for Infrastructure that will Evolve over this Project's 25-30 Year Build Out
- Present Flood Protection Strategy with Consideration for Long Term Protection from Sea Level Rise
- Present a Framework of Complete Streets Integrating the Site into the West End of Alameda

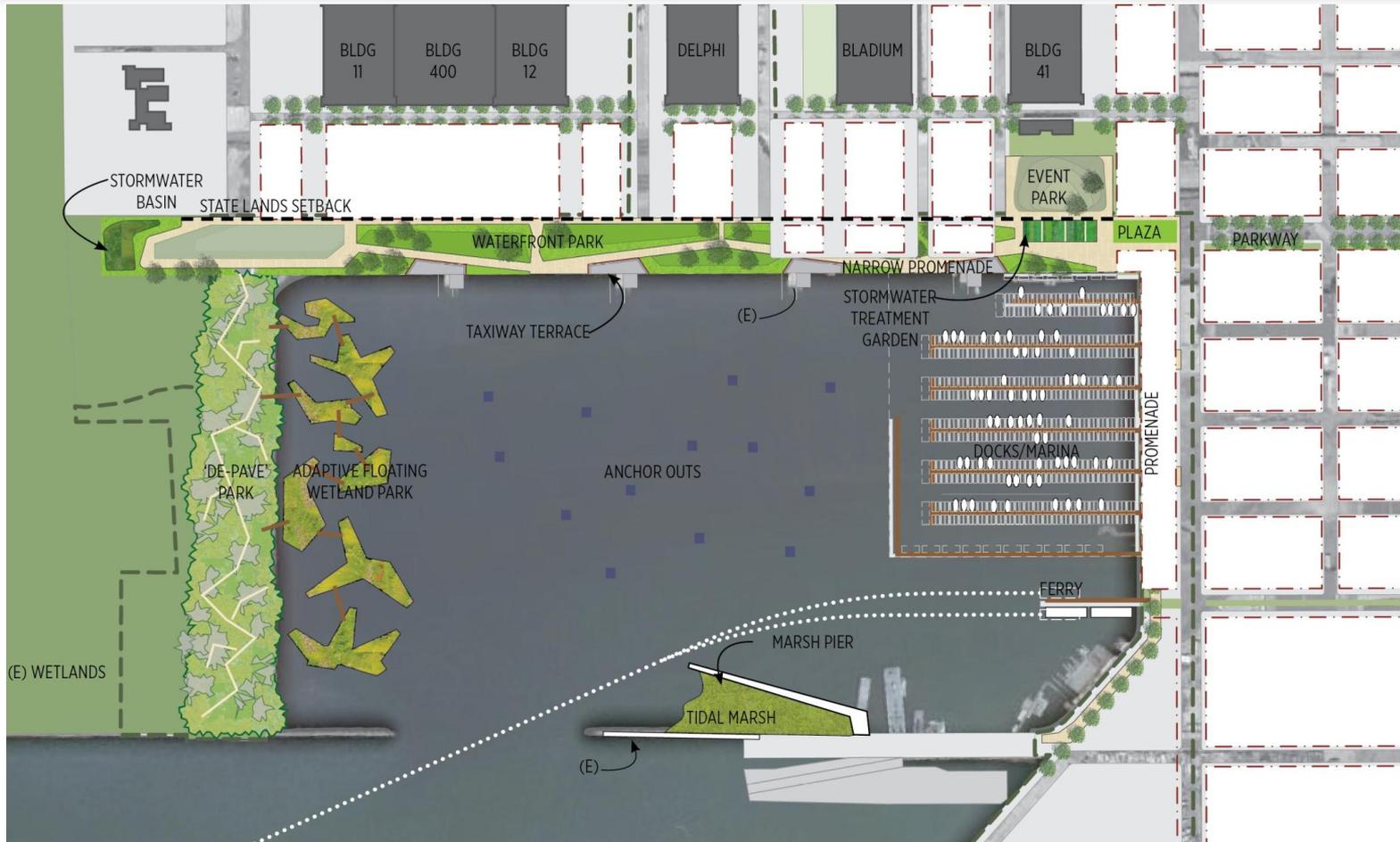
Town Center Precise Plan



Waterfront Experience Concept



Landscaping Option



Town Center Core Criteria

TOWN CENTER CORE PRELIMINARY CRITERIA

Urban Structure

- Walkable Street Network
- Preserves Key View Corridors

Place-Making

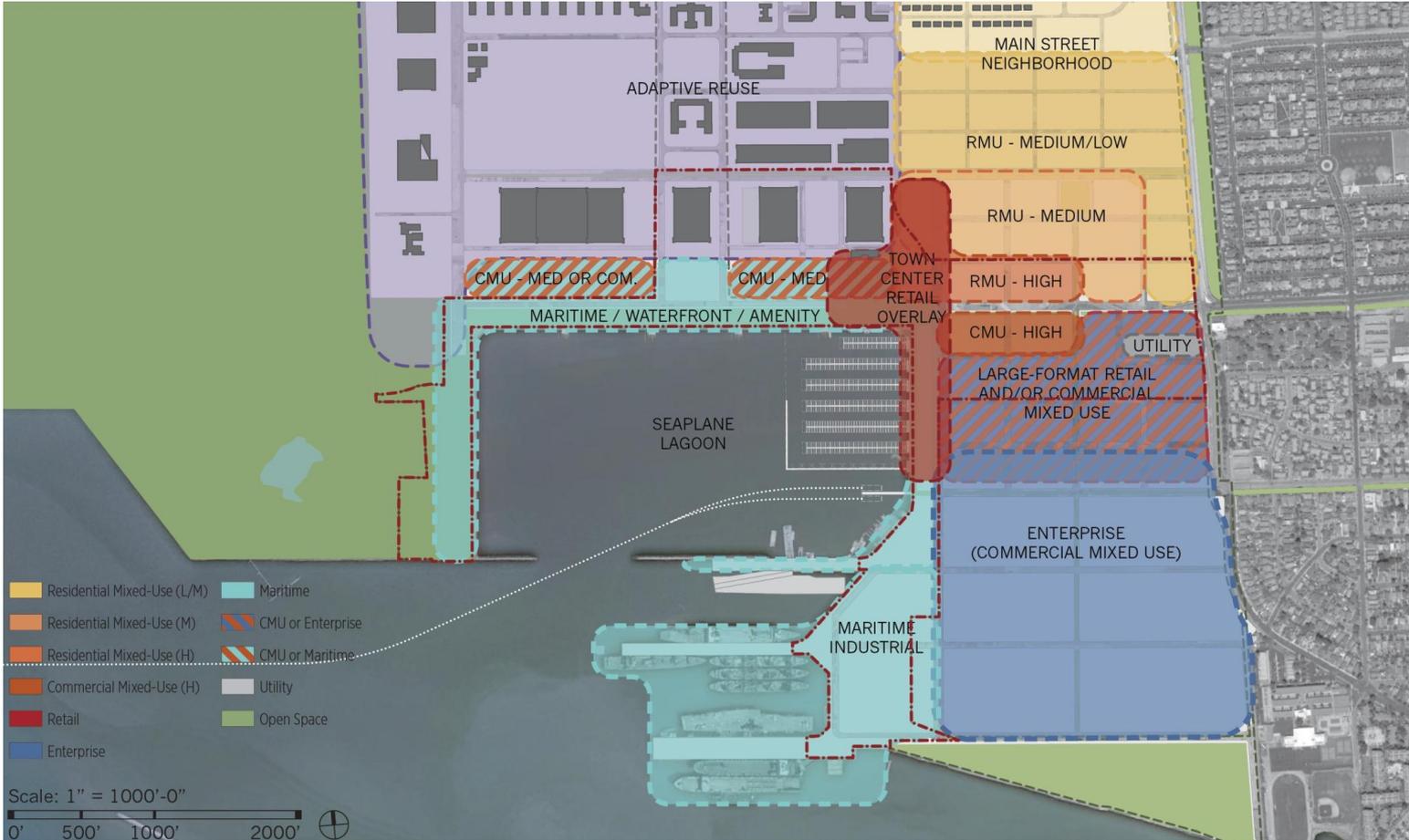
- Unique Sense of Place
- Connection to the Waterfront

Implementation

- Ease of realizing Critical Mass in early stages
- Achieves a Sense of Completion in Phase 1
- Phase 0 Potential



Use Concept



Phase 0

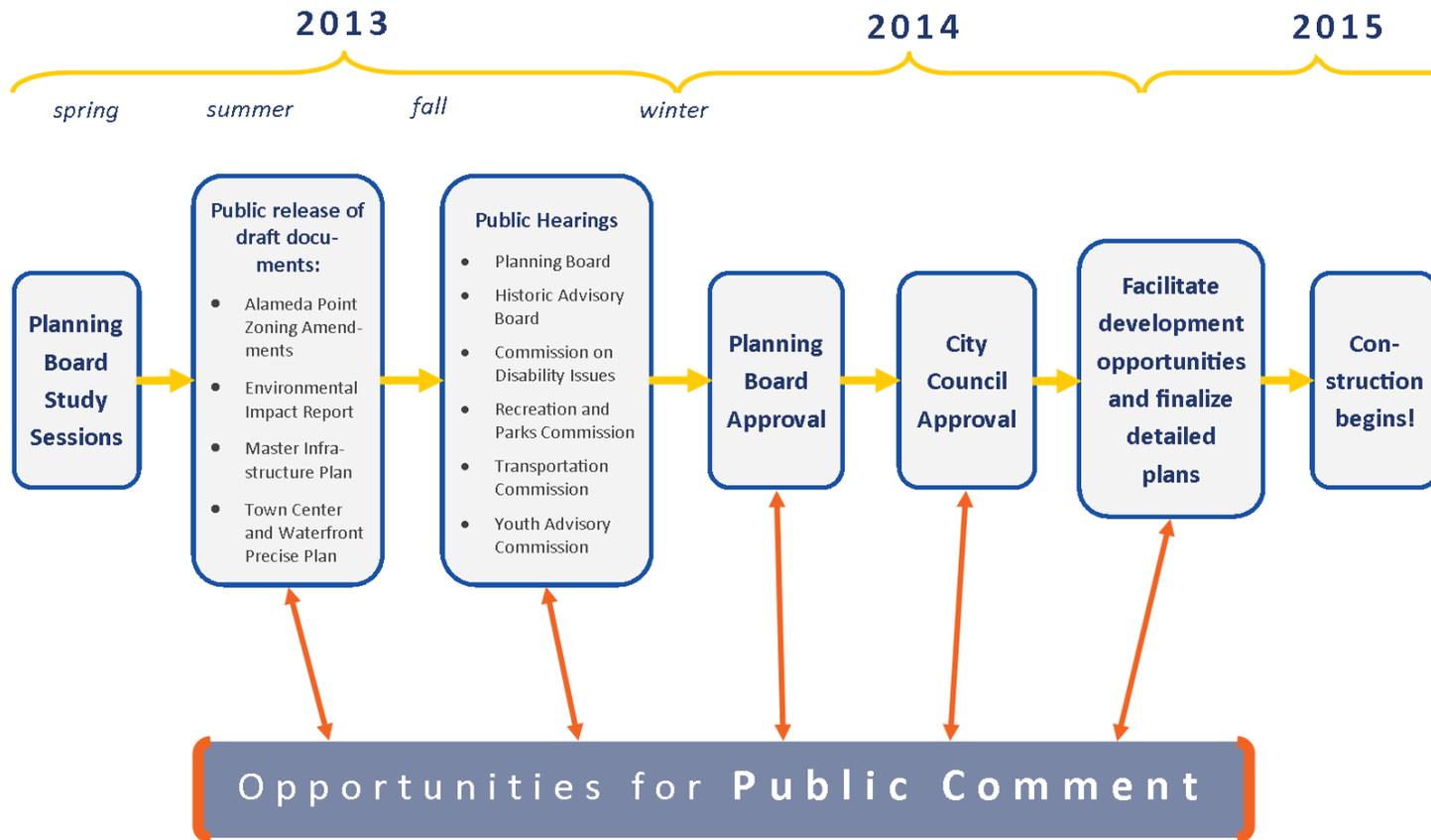
PHASE 0



EIR and TDM Plan

- The Draft EIR outlines potential environmental impacts Alameda Point development
- Second EIR hearing on Sept. 25 to provide opportunity for public comment
- City Council must review and certify final EIR before approving planning documents
- TDM Plan to encourage people to use alternative modes of transportation rather than single occupancy vehicles
- Compliance and monitoring of TDM Plan required

Next Steps



Stay Informed and Participate

- Visit City Website—
Alamedaca.gov/Alameda-Point
- Email Updates and Comments—
AlamedaPoint@alamedaca.gov
- Twitter and Facebook—
[@AlamedaNAS](https://twitter.com/AlamedaNAS)
[Facebook.com/AlamedaNAS](https://facebook.com/AlamedaNAS)
- Online Surveys
- Public Hearings

Q & A



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